

**CITY OF PASS CHRISTIAN
PLANNING COMMISSION MEETING**

MEETING & HEARING DATE: September 30, 2025

ACTION REQUESTED: Variance for front load parking at the property located at 103 Wenmar Ave

APPLICANT AND OWNER: Jimmy Watts

REVIEWED BY: Melodie Hayes, City Planner

RECOMMENDATION: Recommend approval to Board of Aldermen

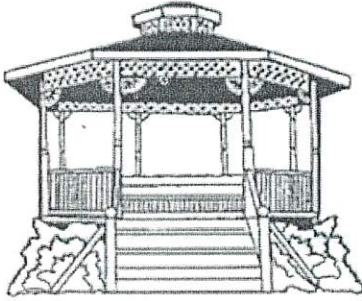
Background

The applicant is requesting consideration of approval for a variance for front load parking at 103 Wenmar Avenue.

In order to develop this property, a front load driveway is being requested as there is a large Live Oak tree on the lot that could prohibit a rear or side yard driveway and the development of the lot.

Staff has reviewed the request and recommends with conditions (see below) approval to allow the variance for front-load parking for the above-mentioned lot.

As a side note, there have been neighbors that have expressed concern over this allowance as they are concerned that the applicant will be placing a large RV in the front of the yard on the front load driveway and staff would like to express that the RV will need to be in the rear or on the side of the home and not to encroach into the front setback past the front corner of the home and ask for this to be a condition of approval. If the side or rear yard parking for the RV is violated, then the variance can be rescinded.



Planning Commission Variance Application

City of Pass Christian
Planning & Zoning Department 200 W
Scenic Drive
Pass Christian, MS 39571
(228) 452-5047
planning@passchristian.com

241045

I. Project Address 102 wenmar ave

II. Parcel Number 0512k-04-014.000

III. General description of request

front load garage to match house at 102 wenmar
oak tree is in the way for house placement to build for side load garage

ISO
zone

IV. Ownership and Certification

I hereby certify that I have read and understand this application, and that all information and attachments are true and correct. I further certify that I agree to comply with all applicable City codes, ordinances and state laws, and that I am the owner of the property involved in this request or authorized to act as the owner's agent for herein described request.

Applicant
jimmy watts

Print name

Signature

Date

103 hayden ave pass christian ms 39571

Mailing Address

6012730408

Phone Number

jwatts@msacinc.com

Email

Owner if different from Applicant

Print Name

Signature

Date

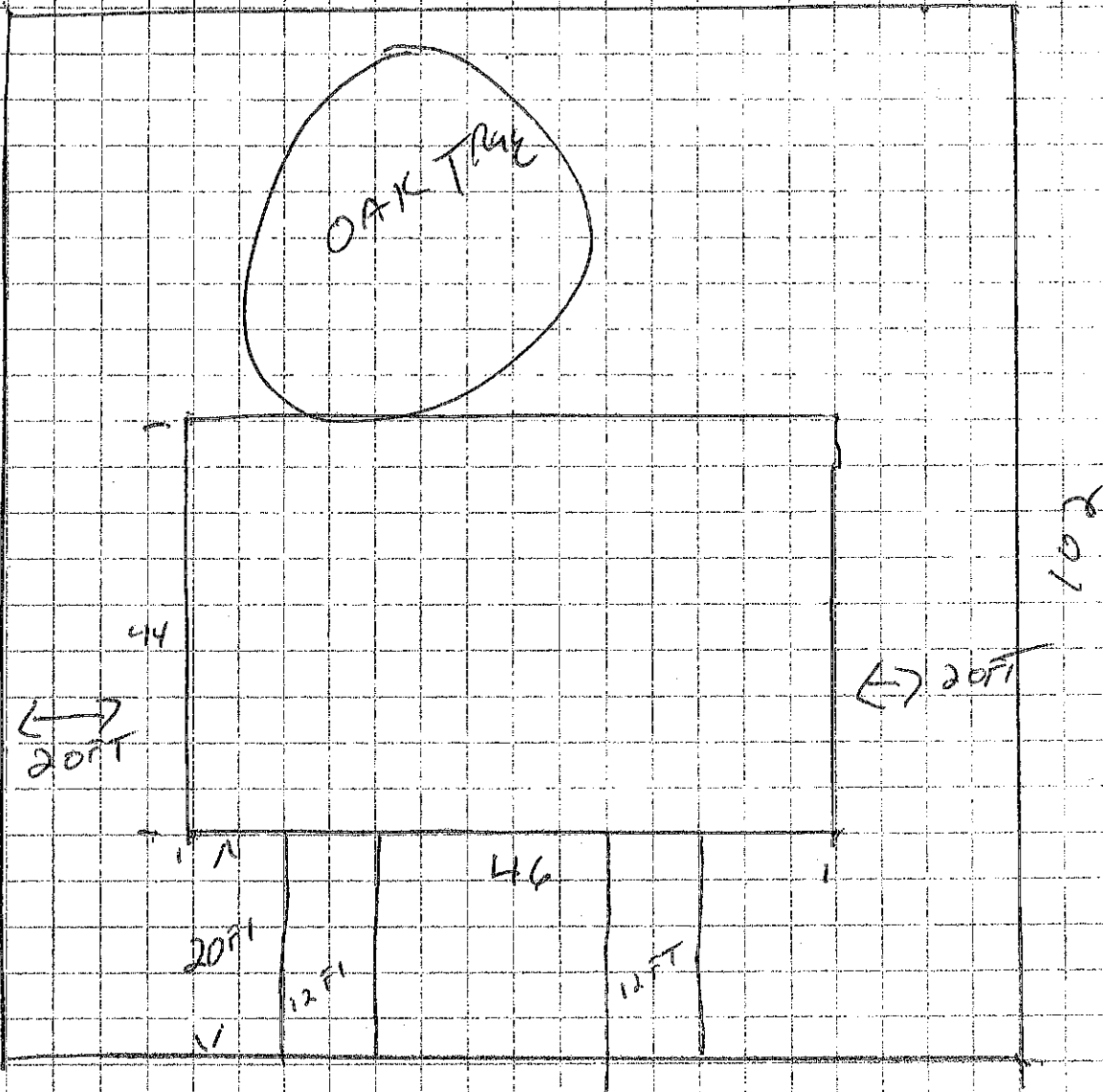
Mailing Address

Phone Number

Email

In the case of multiple owners, please include names and contact information for all owners. Each owner must sign the application, and original signatures are required.

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102 WENMAR AVE



HARRISON COUNTY, MISSISSIPPI

DISCLAIMER: THIS MAP IS FOR PROPERTY TAX ASSESSMENT PURPOSES ONLY. IT WAS CONSTRUCTED FROM PROPERTY INFORMATION RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS AND IS NOT CONCLUSIVE AS TO LOCATION OF PROPERTY OR LEGAL OWNERSHIP. TAL FLURRY, TAX ASSESSOR.

MAP DATE: September 2, 2025



